

Old Conway Design
Overlay District

DESIGN REVIEW BOARD MEETING

THURSDAY
MARCH 25, 2010
7:00PM
CITY HALL
1201 OAK STREET

AGENDA:

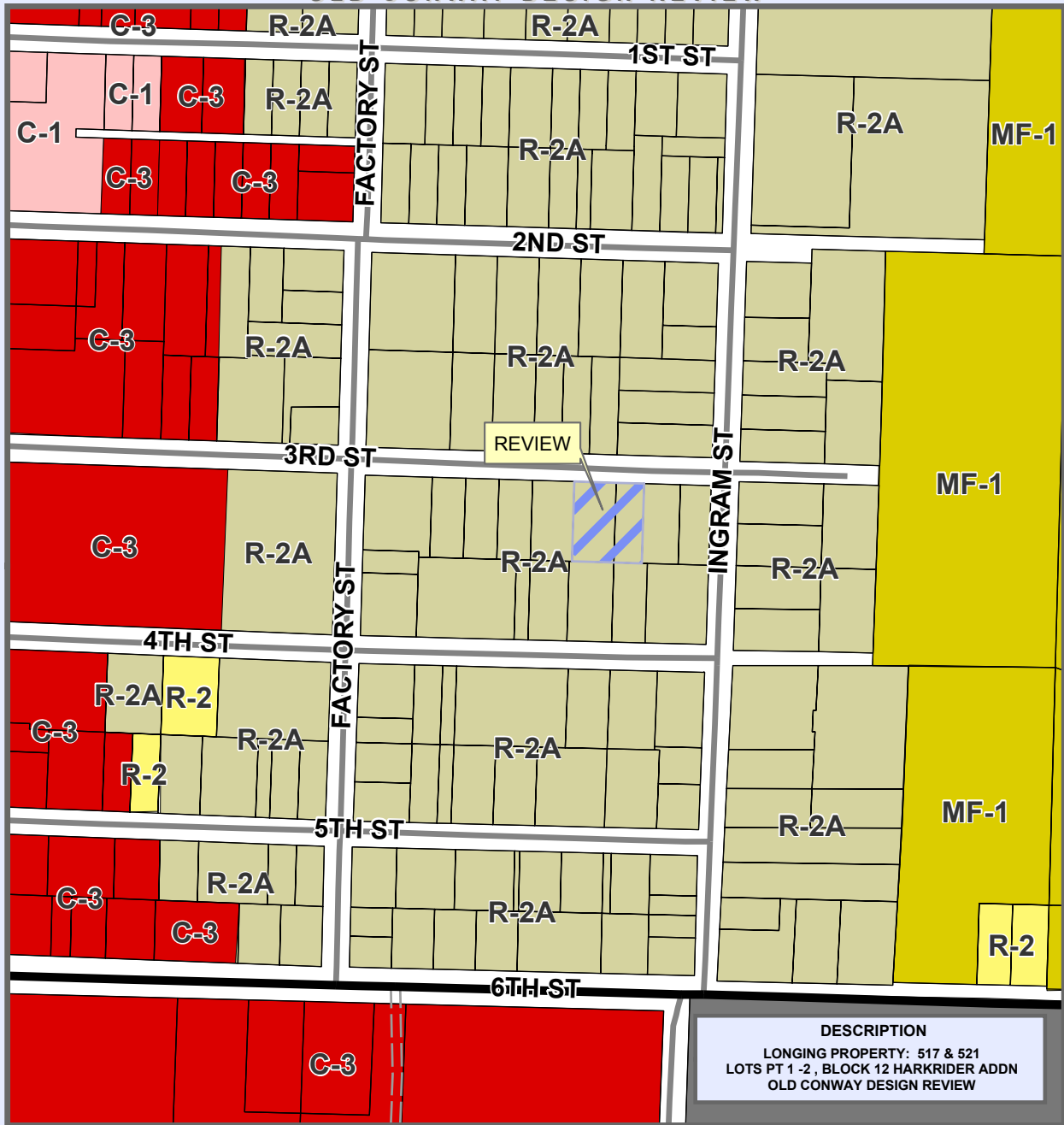
MINUTES:
November 2009 Minutes

REVIEW:
Longing Single Family Homes - 517 & 521 Third Street




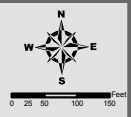
DISCUSSION:
Other items as decided by the Design Review Board

CITY OF CONWAY

LONGING PROPERTY -- 517 & 521 3RD STREET OLD CONWAY DESIGN REVIEW



DESCRIPTION
LONGING PROPERTY: 517 & 521
LOTS PT 1 - 2 , BLOCK 12 HARKIDER ADDN
OLD CONWAY DESIGN REVIEW

 <small>Tab Tammack - Mayor Andy Franklin & David Grimes - Aldermen Ward 1 Mark Vaughn & Shelby West - Aldermen Ward 2 John Strobel & Mary Smith - Aldermen Ward 3 Theodore James, Jr. & Shelia Williams - Aldermen Ward 4 Michael Murphy - City Attorney Michael Gavett - City Clerk</small>	 <small>Bryan Patrick - Director Ken Pickett - Assistant Director Christy Sutherland - Planner Donald Anthony - Planner Wes Cargill - Planner Jason Lyon - GIS Coordinator</small>	 <small>CONWAY PLANNING COMMISSION Terry Gosong - Chair Sandy Mabry - Vice-Chair</small>	<table border="0" style="font-size: small;"> <tr> <td>— INTERSTATE</td> <td>— LOT LINE</td> <td> R-1</td> <td> MF-1</td> <td> I-1</td> </tr> <tr> <td>— MAJOR ARTERIAL</td> <td>— STREAMS</td> <td> R-2A</td> <td> MF-2</td> <td> RL-1</td> </tr> <tr> <td>— MINOR ARTERIAL</td> <td>— LAKES & PONDS</td> <td> R-2</td> <td> MF-3</td> <td> I-3</td> </tr> <tr> <td>— COLLECTOR</td> <td>— CITY LIMITS</td> <td> HR</td> <td> RMH</td> <td></td> </tr> <tr> <td>— RESIDENTIAL</td> <td></td> <td> SR</td> <td></td> <td></td> </tr> <tr> <td>— PRIVATE ROAD</td> <td></td> <td></td> <td> C-1</td> <td> O-1</td> </tr> <tr> <td>— INTERSTATE RAMP</td> <td></td> <td></td> <td> C-2</td> <td> O-2</td> </tr> <tr> <td>— RAILROADS</td> <td></td> <td></td> <td> C-3</td> <td> O-3</td> </tr> <tr> <td></td> <td></td> <td></td> <td> C-4</td> <td> PUD</td> </tr> </table>	— INTERSTATE	— LOT LINE	 R-1	 MF-1	 I-1	— MAJOR ARTERIAL	— STREAMS	 R-2A	 MF-2	 RL-1	— MINOR ARTERIAL	— LAKES & PONDS	 R-2	 MF-3	 I-3	— COLLECTOR	— CITY LIMITS	 HR	 RMH		— RESIDENTIAL		 SR			— PRIVATE ROAD			 C-1	 O-1	— INTERSTATE RAMP			 C-2	 O-2	— RAILROADS			 C-3	 O-3				 C-4	 PUD	 0 25 50 100 150 feet 1 in = 250 ft MARCH 2010	THIS MAP WAS PREPARED BY THE CITY OF CONWAY PLANNING AND DEVELOPMENT DEPARTMENT FOR ITS USE AND MAY BE REVISED AT ANY TIME WITHOUT NOTIFICATION TO ANY USER. THE CITY OF CONWAY PLANNING AND DEVELOPMENT DEPARTMENT DOES NOT GUARANTEE THE CORRECTNESS OR ACCURACY OF ANY FEATURES ON THIS MAP. CITY OF CONWAY ASSUMES NO RESPONSIBILITY IN CONNECTION THEREWITH. CONTACT INFORMATION LANDMARK GIS WEBSITE: gis.cityofconway.org (LONGER, DEVELOPMENT) E-MAIL: Jason.Lyon@CityOfConway.org
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Area Map

Old Conway Design Overlay Review

Longing Single Family Homes Review

APPLICANT'S NAME (S)

Danny & Wayne Longing

PRESENT ZONING

R-2A

ABUTTING ZONING

R-2A

LOCATION

The property is located at 517 & 521 Third Street - Part of Lots 1 & 2 Block 12, Harkrider Addition.

STRUCTURES ON THE PROPERTY

None

PROPOSED CONSTRUCTION

(2) 1170 square foot single-family homes

NOTIFICATION REQUIREMENTS

In compliance

COMMENTS

General Description of Proposed Project:

This tract is currently one large tract of land. The applicant is subdividing the tract into two lots and is proposing to construct one single family home of the same design on each lot.

Surrounding Area and Structures:

The homes in the area are a mixture of horizontal suburban ranch homes and minimal traditional homes. The ranch style homes are mostly brick with low pitch asphalt composition roofs. The ranch homes have a mixture of foundation types; some on crawlspaces or elevated slabs, others are on low slab foundations. The minimal traditional homes are all on elevated crawl spaces.

The site is within the suburban district of the Old Conway Design Overlay. The suburban section of the Old Conway Pattern book should be referred to for design guidelines.

S I T E

Lot Dimensions: Both Lots will have 60 feet of street frontage along Third Street and ~142 feet of lot depth.

Lot Area: ~.19 acres

Setbacks: The proposed structures should respect the predominant setbacks of area homes, especially the front setback. The average area front setback is approximately 35 feet from the back of the curb. The proposed 42 feet from curb location should be slightly decreased as front setbacks are to be between 85% and 115% of the area average. In this case, 30 to 40 feet. Basically, the new homes should line up with existing homes on either side.

Spacing: Established spacing distance pattern in the neighborhood between homes. The spacing of the proposed homes is acceptable.

Lot Coverage: The Old Conway Design Overlay District allows 60% impermeable lot coverage. Lot coverage should not be exceeded with this proposal.

Old Conway Design Overlay Review

Orientation: The direction in which the front of a building faces. The new homes will face Third Street. This is appropriate.

Alley: There are no alleys.

Driveway / Parking: Parking is not permitted in the front yards. Driveways will permit adequate parking for the residences. Driveways should not exceed 20 feet in width.

Sidewalks: The OCDOD Ordinance requires that sidewalks be constructed or repaired as part of new construction. A sidewalk 4 feet wide must be constructed along the Third Street right of way across both new lots. A sidewalk must also be constructed across the lot to the east as required by subdivision regulations.

Fences: The applicant is not proposing any fencing at this time.

Tree preservation: The OCDOD ordinance requires that any significant trees over 8 inches in diameter be preserved. There are five significant willow oaks (pin oaks) on the property. Four of these trees are on the east property line. The fifth oak appears to be right on the dividing property line of the two new lots. With proper construction techniques, the trees should be unaffected. Old Conway Design Overlay regulations also require one street tree per 30 feet of street frontage. One street tree per lot should be planted.

M A S S I N G

Scale: The size of new construction in relation to neighboring sizes and the proportion of structures to the human scale. The proposed residence's scale is appropriate.

Height: The average heights of eaves and cornices in a neighborhood. Also, the first floor elevation / height relationship. The overall height of the residences is appropriate in relation to other area homes. Conway building regulations require that new homes have a minimum of two blocks or 18 inches in height for the finished floor. For more traditional structures, a minimum of three blocks or 24 inches is preferable, however the home to the east is on a crawl space, the home to the west is on a low slab, therefore, two blocks high would be a good average.

Traditional home typically feature 9 foot or higher ceilings as measured from the rough floor. Ceiling height is unclear from the supplied drawings. The ceiling heights should be a minimum of 9 feet measured from the rough floor.

Width: New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The proposed homes are in keeping with the adjoining homes and area structures.

Directional expression: Measurement of the height to width ratio of a structure's elevation. The directional expression of the proposed new homes is acceptable.

Footprint: The area of land covered by a structure should be in relation to the majority of neighboring structures. The footprint of the homes is in keeping with the adjoining home and area structures.

Complexity of form: The level of detailing and breaks in wall planes of a structure. The homes are simple in form with a good measure of craftsmen like detailing. This detailing will provide a good measure of complexity, but not overpowering to area homes.

Facade, wall area, rhythm: Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. Window and door openings should correspond to the rhythm and proportion on existing structures. Generally doors and windows should be proportioned in a

Old Conway Design Overlay Review

range of 25-40% of the total surface area. The supplied drawings show an adequate measure of window and door openings.

DESIGN ELEMENTS

Style: The proposed style is not a copy of area structures. This would seem appropriate as surrounding structures may not offer the best model for desired future growth patterns. This design is modern yet offers some traditional styling above and beyond the minimal traditional homes and the trendy ranch homes.

Entries, Porches, and Porticos: Porches should be a minimum of 6 feet in depth. Roof lines and steps of the porch assembly should also respect the existing structure and neighborhood. The porch as proposed is approximately 7 feet deep this is appropriate.

Doors and windows: Door and window trim should be in a craftsman style with wide trim boards.

Awnings: Not applicable.

Lighting: Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No light fixtures are shown on the supplied drawings.

MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks: Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The proposed homes are shown with siding. As stated in the Old Conway Pattern Book, a fiber cement siding such as Hardiboard is preferred. Craftsman details such as wide trim around windows and doors and open rafter tails would add to the traditional design of the outbuilding.

Roof: The roof is proposed to be an asphalt architectural shingle to match the adjacent home's roof. This is appropriate.

Decks: No decks are proposed.

Skylights: Not applicable.

Mechanical screening: HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. Gas and electric meters should be located at the side or rear facade. The location of the HVAC unit, gas, and electric service are not shown on submitted drawings. Electric service is at the rear of the home.

Shutters: According to submitted plans, no shutters will be used.

RECOMMENDATIONS:

1. Homes should be constructed as submitted including all door and window openings.
2. The front setback at the porch line shall line up with adjacent homes.
3. Driveways shall not exceed 20 feet in width.
4. A 4 foot wide sidewalk shall be constructed across both new lots. A sidewalk shall also be constructed across the parent lot to the east per subdivision regulations.
5. Existing large willow oaks shall be preserved. Fencing and proper tree protection beneath the drip line shall be utilized during construction. One canopy street tree (mature tree height of 40-60 feet) per new lot shall be planted.
6. Rough floor to Ceiling height shall be minimum of 9 feet.
7. Foundation shall be minimum of two blocks (18") high.
8. Porch depth shall be a minimum of 6 feet.

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9. Doors and windows trim shall use a craftsman style with wide trim.
10. Siding shall be a fiber cement material such as Hardiboard.
11. Roof shall be asphalt composition.
12. HVAC units shall be on the side of the homes and shall be screened with a low fence or shrubs. Gas and electric service shall be on the side or rear of the homes.

ENCLOSURES:

Map, site plan, submitted elevation, and photos

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● = Significant Trees

SCALE 1" = 50'

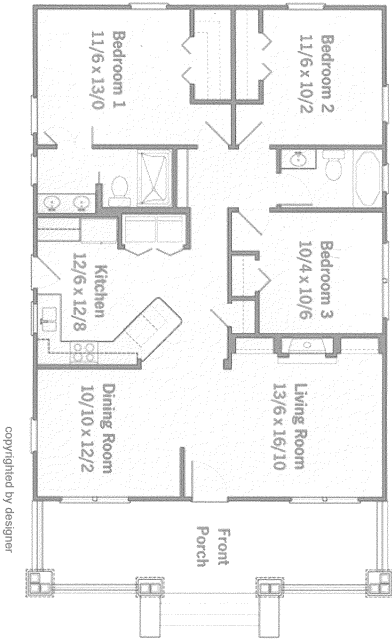


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Old Conway Design Overlay Review



**North
Elevation**



Floor Plan

Old Conway Design Overlay Review



**Looking North
Across Third
Street**



Home to the West



Home to the East



Proposed Site