

Old Conway Design
Overlay District

DESIGN REVIEW BOARD MEETING

**JUNE 24, 2010
7:00PM
CITY HALL
1201 OAK STREET**

AGENDA:

Minutes:

May 2010 Minutes

Review:

Central Baptist College Parking Lot

Discussion:

Sidewalks in the Old Conway Area
Other items as decided by the Design Review Board

Old Conway Design Review Board May 2010 Minutes

Conway AR Old Conway Design Review Board

May 2010 Meeting Minutes

Old Conway Design Review Board May 2010 Meeting Minutes

City Hall - Downstairs Conference Room, May 27, 2010, 7:00 p.m.

Roll Call

Velton Daves, Chairman - present
Melissa Headrick - absent
Mary Etta Qualls - present
David Carolina - absent
Betty Pickett - present
Barbara Stroope, Secretary - present
Rod Miller – (present for review #3 & #4)
George Covington, Sr. - present
Sandra Mabry – absent

Finding of a Quorum

56board members were present

April 2009 Minutes

Change “November 2009” to “March 2010” of previous minutes

- Motion to accept by George Covington
- Second by Mary Etta Qualls

Approved unanimously

New Business

Weaver Single-family Homes (2) 1938 Weems Review

Mr. Weaver passed out printed copies of detailed floor plan to board. He stated that it is a similar plan to the one presented last month, but he changed front windows a bit from the 2017 Weems home. The air conditioner on both homes will be in rear. The sidewalk will be around both sides. The two houses are similar. But on one of them the porch comes out to the side. One of the homes has straight columns.

The board discussed placement of the sidewalks. The lines on p. 13 of the site plan actually show the property line. There are usually about 10 more feet between the property line and the curb. The sidewalks will be closer to the curb.

Recommendations

1. Home shall be generally constructed as submitted May 27th.

2. The front (west) and side (south) setback shall be approximately 25' from property line as submitted.
3. Concrete driveways shall be 10 feet maximum in width and located generally as submitted.
4. A 4 foot wide sidewalk shall be constructed along the Weems and Watkins Street frontages 5.5' from the curb.
5. Existing chain link fence shall be removed.
6. Efforts shall be made to preserve all trees with the exception the 36" hickory in the center of the yard. One understory tree shall be planted along Weems Street.
7. The finished floor height shall be a minimum of 18" above the **final grade**.
8. Ceiling height shall be 9 feet above the rough floor.
9. Porch depth must be a minimum of 6 feet. Columns on the porch of the corner lot home shall be tapered as shown on the submitted plan. The interior lot home shall have non-tapered columns with a finish trim dimension of 8" by 8".
10. Carports must be setback as far to the rear of the homes centerline as possible.
11. Door, window trim, and detailing shall be in a craftsman style.
12. Roof shall be asphalt composition.
13. Fiber cement siding such as hardiboard is encouraged.
14. HVAC unit(s) shall be on the rear or side of the home and shall be screened with a low fence or shrubs if visible from Weems Street. Gas and electric service shall be on the side or rear of the home.
15. Driveways and sidewalks are to be laid out to avoid damaging existing trees.

- Motion to accept with the above conditions was made by George Covington
- Second by Mary Etta Qualls

Approved unanimously

Weaver Single-family Home (1) 2017 Weems Review

Mr. Weaver passed out printed copies of detailed floor plan to board. He stated that this plan changed a bit from original submission during the

OCDRB Meeting Minutes, May 27, 2010

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previous month. The home will have a 6 foot porch and craftsman style windows. On the plan, Mr. Weaver moved the carport back as far as possible. Carport will be on the opposite side of the plan submitted. This lot already has a sidewalk in place. AC unit will be in rear.

Recommendations

1. Home shall be generally constructed as shown on plans submitted on May 27.
2. The front setback at the porch line shall be approximately 18' from property line as submitted.
3. Concrete driveways shall be 10 feet maximum in width and located generally as submitted.
4. Existing chain link fence shall be removed.
5. Efforts shall be made to preserve all trees with the exception the 24" silver maple in the center of the yard. This silver maple shall be remediated with the planting of a canopy tree in the rear yard.
6. The finished floor height shall be a minimum of 18" above the **final grade**.
7. Ceiling height shall be 9 feet above the rough floor.
8. Tapered columns shall be used as shown on submitted plans.
9. The carport must be setback as far to the rear of the homes centerline as possible.
10. Door, window trim, and detailing shall be in a craftsman style.
11. Roof shall be asphalt composition.
12. Fiber cement siding such as hardiboard is encouraged.
13. HVAC unit(s) shall be on the rear or side of the home and shall be screened with a low fence or shrubs if visible from Weems Street. Gas and electric service shall be on the side or rear of the home.

- Motion to accept with the above conditions was made by George Covington
- Second by Mary Etta Qualls

Approved unanimously

Rossi Carport Enclosure

Shawn Pratt spoke on behalf of Ms. Rossi. Garage will continue same look as house. Will continue white vinyl siding that is also on the house...with the same lap, color. It will have a garage door on the front and two windows on the side with a door.

Recommendations

1. Carport enclosure shall be generally constructed as submitted.
2. Door, window trim, and detailing shall be made to match existing trim.
3. Siding that matches the existing home shall be used.
 - Motion to accept with the above conditions was made by Betty Pickett
 - Second by George Covington

Approved unanimously

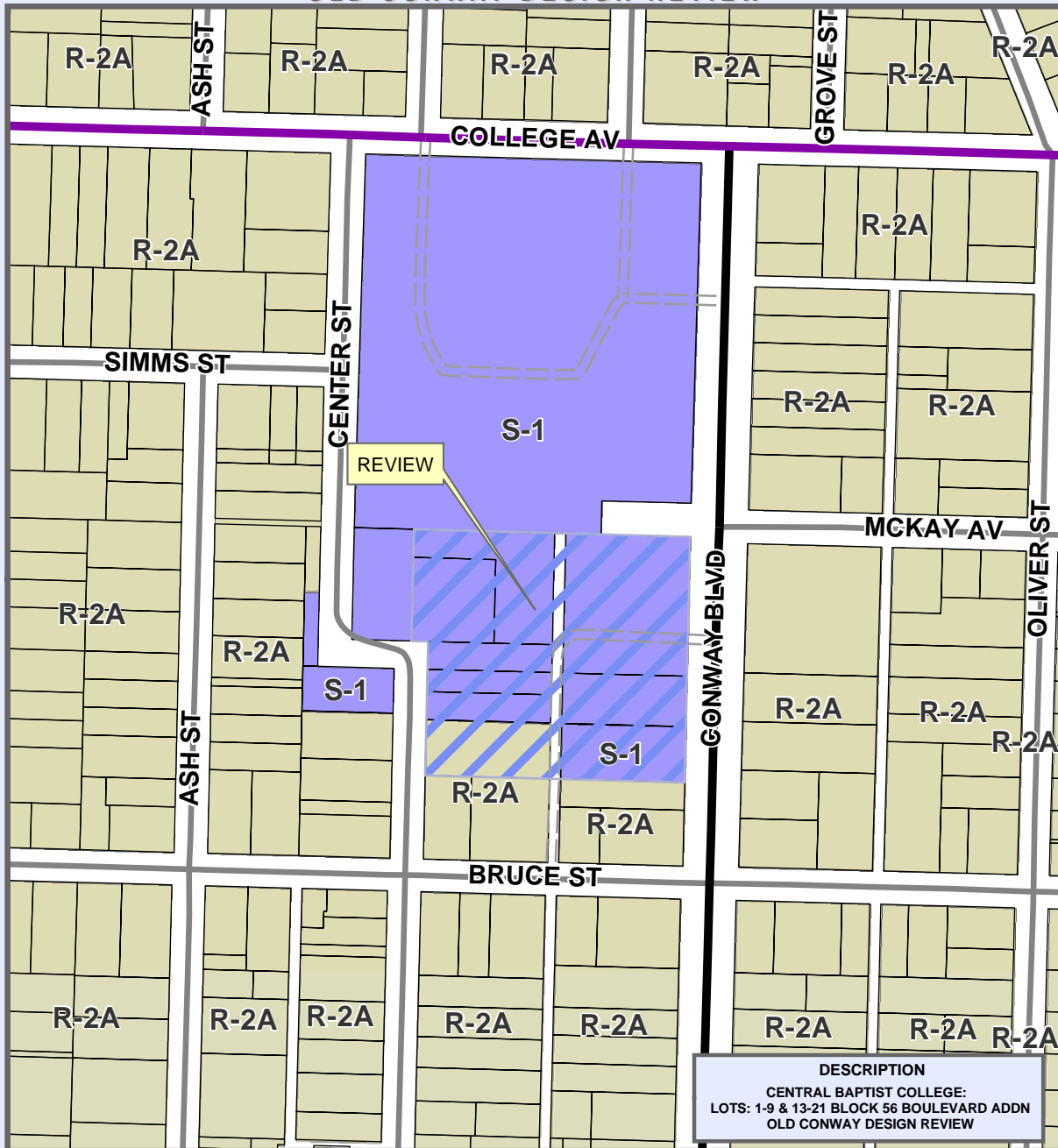
Other Discussion

Bryan has been working on sidewalk recommendations for suburban zones. The board will read the recommendations sent by Bryan Patrick.

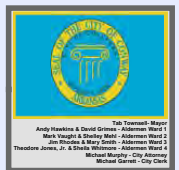
Meeting Adjourned

CITY OF CONWAY

CENTRAL BAPTIST COLLEGE OLD CONWAY DESIGN REVIEW



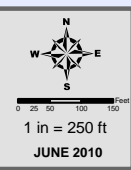
DESCRIPTION
CENTRAL BAPTIST COLLEGE:
LOTS: 1-9 & 13-21 BLOCK 56 BOULEVARD ADDN
OLD CONWAY DESIGN REVIEW



	INTERSTATE		LOT LINE
	MAJOR ARTERIAL		STREAMS
	MINOR ARTERIAL		LAKES & PONDS
	COLLECTOR		CITY LIMITS
	RESIDENTIAL		PRIVATE ROAD
	INTERSTATE RAMP		RAILROADS

Residential		Industrial	
	R-1		MF-1
	R-2A		MF-2
	R-2		MF-3
	HR		RMH
	SR		I-1
	I-3		I-2

Commercial Office		Special	
	C-1		SP
	C-2		S-1
	C-3		A-1
	C-4		PUD



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Area Map

Old Conway Design Overlay Review

Central Baptist College Parking Lot Review

APPLICANT'S NAME(S)

Central Baptist College

PRESENT ZONING

S-1 and R-2A

ABUTTING ZONING

R-2A

LOCATION

The Central Baptist College Campus which occupies the majority of the block bounded by College Ave, Conway Blvd., Bruce St, and Center St.

STRUCTURES ON THE PROPERTY

Multiple educational, residential, and administrative buildings

PROPOSED CONSTRUCTION

An approximately 32,400 square foot parking lot

NOTIFICATION REQUIREMENTS

In compliance

COMMENTS

General Description of Proposed Project:

The applicant is proposing to construct a 100 space interior parking lot in the south central area of the campus.

Surrounding Area and Structures:

The Central Baptist Campus is situated in one of the more historic sections of the city with a large variety of home styles. Surrounding homes vary from Queen Anne, vernacular, craftsman, to modern.

S I T E

Lot Dimensions: The Campus has approximately 600 feet of street frontage along College Avenue 1200 feet of street frontage along Conway Boulevard, 1340 feet along Center Street, and 480 feet along Bruce Street.

Lot Area: 17 acres

Non Applicable Guideline Omissions: Due to the unique nature of a parking lot, Old Conway design guidelines such as setbacks, spacing, massing, style, orientation, facade, complexity of form, etc are not applicable. Typical comment on these guidelines has been omitted.

Applicable Guidelines:

Lot Coverage: The Old Conway Design Overlay District regulates lot coverage defined as permeable vs. impermeable. The Central Baptist College area is shown as lying in the Suburban Overlay Zone. Lot coverage in the Suburban Zone may be up to 60% impermeable lot coverage Lot coverage will not be exceeded with this proposed parking area.

Old Conway Design Overlay Review

Alley: An alleyway extends north - south into the campus from Bruce Street into the proposed parking lot's general area. The alley right of way continues to exist even though the actual alley has never been constructed. Likely, this alleyway or a portion thereof, will be closed as the campus expands.

Parking: As stated above, the Central Baptist Campus is part of the Suburban Zone, however the nature of a College campus lends itself more to the characteristics of the Transition Zone or even the Urban Zone. A change to the current Suburban Zone might be examined in the future.

Summarization of Parking Standards as found on Page 42 - Old Conway Design Guidelines - Urban Transition Zone

As stated in the Old Conway Design Guidelines, parking is essential to the success of any street, but negative ramifications to the pedestrian environment should be mitigated. The most important aspect to the creation of a desirable parking area is careful consideration for an appropriate location. If a parking area must be located in a less desirable area, walls and landscaping should be used for screening. Another important consideration is careful placement of driveways and curb cuts. **The proposed location is an interior area of the campus and as such, appears to be an appropriate location.**

On street parking is another regulation discussed in the guidelines. As on street parking adds to traffic calming and the general pedestrian character of a neighborhood it should be utilized where reasonable. On street parking may be utilized as a means of satisfying the requirements for project parking. **In this instance, there have been issues in the past with on street parking creating difficulty for neighborhood fire access. Therefore, on street parking may not be the most appropriate solution for this neighborhood at this time.**

Off street parking lots are to be designed to minimize their size, visibility, and interference with pedestrian safety or comfort. Every effort should be made by developers to shelter adjacent properties, sidewalks, and the public realm as a whole from the unsightliness and clamor of surface parking.

Summarization of Parking Standards as found on Page 60 - Old Conway Design Guidelines - Urban Zone

Although the proposed parking area does not conflict with the below standards, earlier discussion between City Staff, Campus Staff, and the Campus Architect did touch on these requirements:

Except in the most critical of circumstances, locating surface parking lots at block corners shall not be permitted. This acknowledges the special function of corner properties, as they are generally more valuable and visible than interior lots, serve as landmarks to an area, and provide a sense of enclosure to an intersection.

Where a parking lot must abut a public sidewalk, a visual buffer shall be provided. The use of a wall or fencing along the sidewalk edge is most preferred, as this helps contribute to an unbroken street wall. Materials should be compatible with those of nearby buildings. Furthermore, visually interesting elements, such as masonry patterns, articulation, and vegetation should be added to detract from an otherwise "stockade" appearance. Only where walls are not appropriate, a landscape buffer may be utilized. However, landscaping shall be dense and unbroken in order to completely meet the spirit and intent of this section. Planting strips and planter boxes may be incorporated to assist in fulfilling this requirement.

Sidewalks: The OCDOD Ordinance requires that sidewalks be constructed or repaired as part of new construction. Due to the scope of the proposed project and the large Campus area, at this time, no sidewalk construction should be required. However, as the campus expands and new buildings are brought online, sidewalks should be constructed as part of these new developments. At this time, no rational nexus can be

Old Conway Design Overlay Review

drawn between the construction of the proposed parking area and a requirement to construct sidewalks along the perimeter of the campus.

Fences: No fencing is proposed at this time.

Tree preservation: The OCDOD ordinance requires that any significant trees over 8 inches in diameter be preserved. It appears that there are 3 trees affected by the proposed parking lot. It also appears that through careful placement of the parking lot curbs and islands, that a good attempt is being made to preserve these trees.

Lighting: Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No light fixtures are shown on the supplied drawings.

RECOMMENDATIONS:

1. Parking location shall be generally as shown on the submitted site plan.
2. Parking lot shall be constructed generally as shown on the submitted site plan.
3. Plans shall reflect the preservation of existing trees and best tree preservation practices shall be used during construction.

Standard Design Development Review may be required prior to issuance of a parking lot permit.

ENCLOSURES

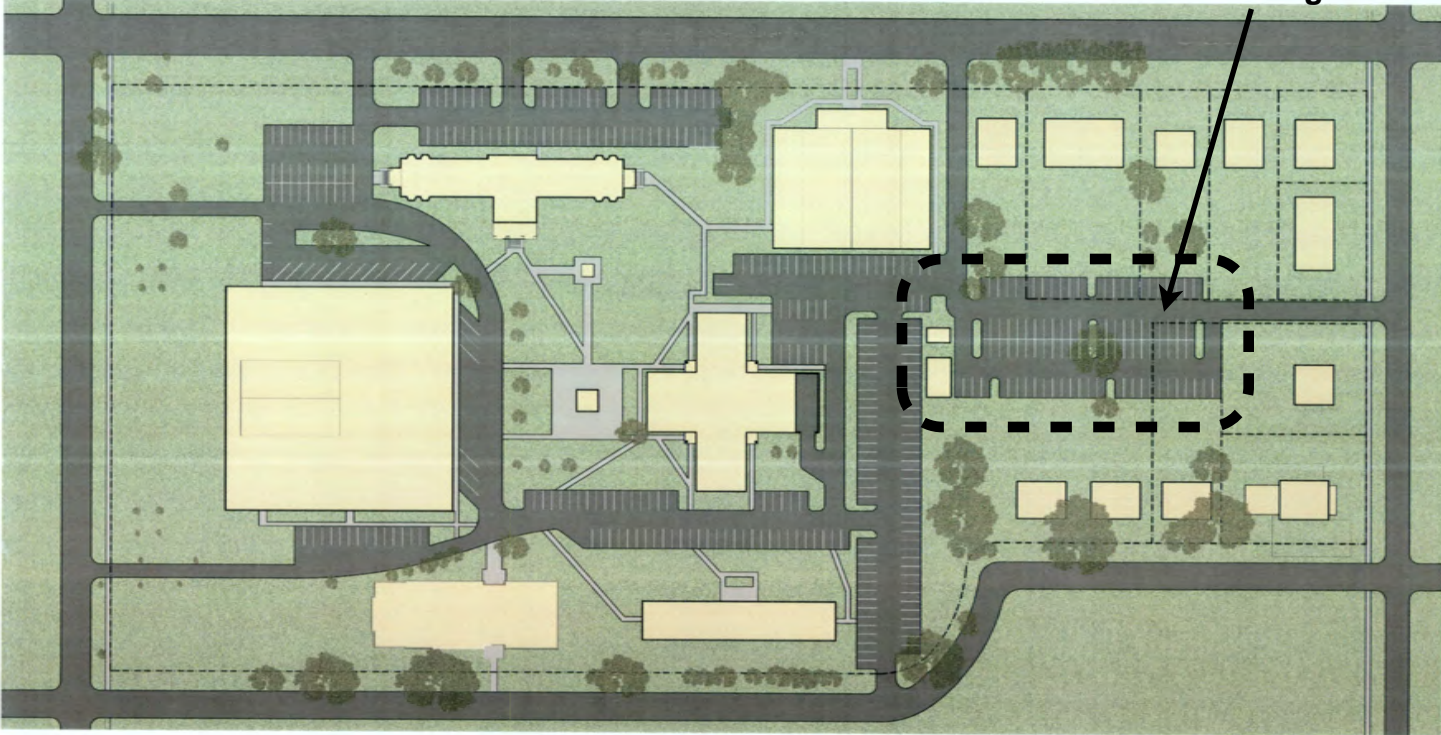
Map and submitted site plans

Along with plans for the soon to be constructed proposed parking lot, a 10 year master plan was submitted. The applicant may wish to take comments from the Old Conway Design Review Board Concerning this plan.

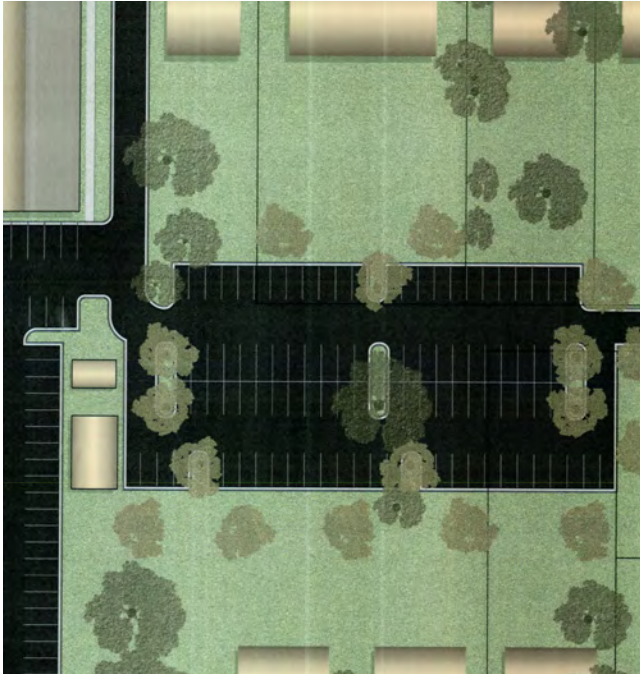
Old Conway Design Overlay Review

North

Proposed New
Parking Area

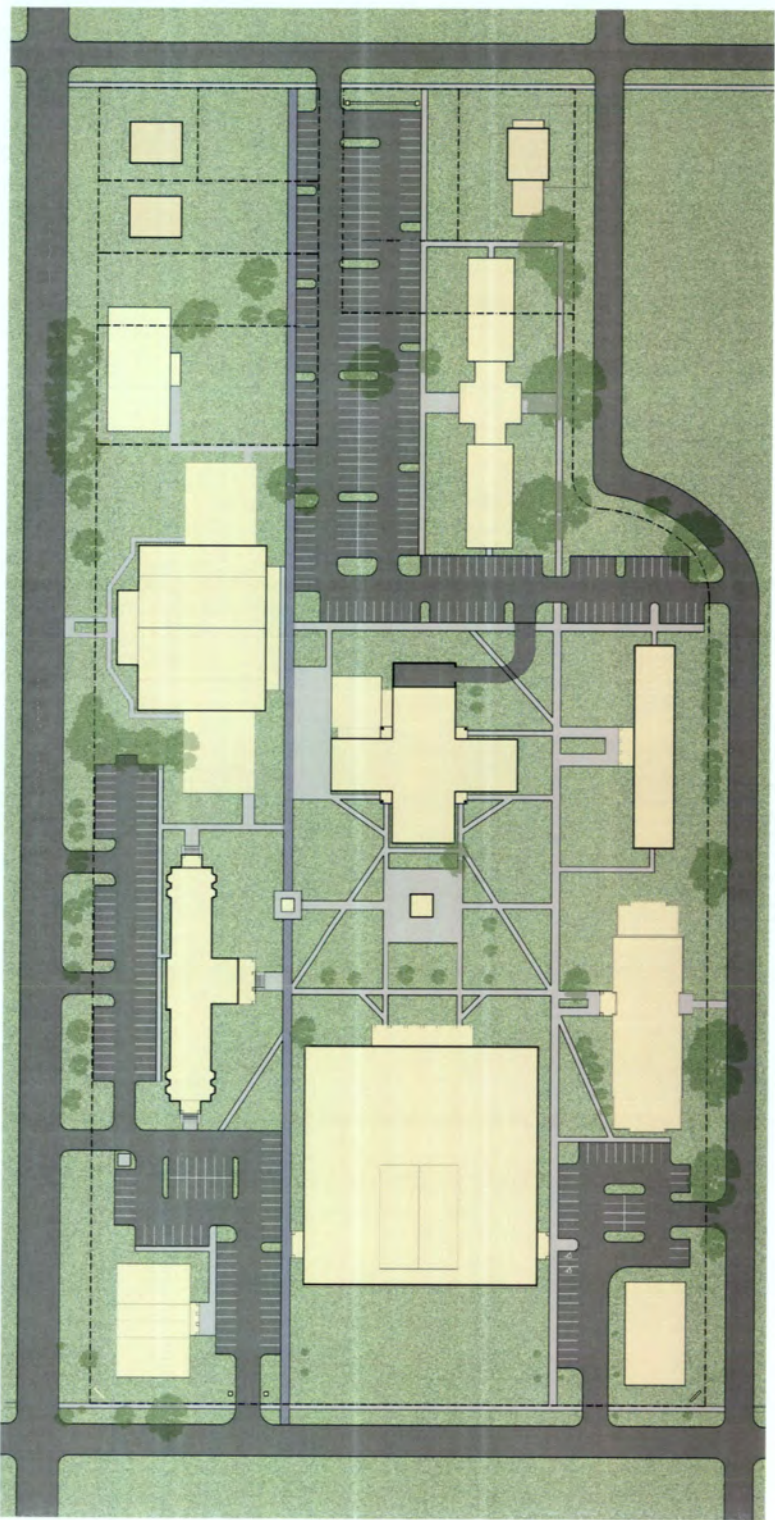


STEP 1
South Central Parking Lot- 100 spaces



Enlarged
Plan

Old Conway Design Overlay Review



10 YEAR MASTER PLAN

Old Conway Design Overlay Review

Old Conway Design Overlay District Sidewalk Regulations:

Sidewalk Regulations for the Suburban Zone in the Old Conway Overlay

Sidewalks:

- A Sidewalk shall be constructed or repaired as part of new construction in the Old Conway Design Overlay District.

Sidewalk Exception: The construction of an outbuilding with a footprint area greater than 30% of the primary structure will require the construction or repair of sidewalks.

Sidewalks are historically correct and add an essential pedestrian element to the area. Sidewalks shall be constructed / repaired for all street frontages and shall be 5 feet wide unless the width differs historically. Sidewalks shall pass through driveways. In the downtown area, sidewalks shall meet downtown sidewalk requirements.

If sidewalks are not prevalent in the area or not technically feasible due to utilities, easements, rights of way, etc., an in-lieu fee of \$3 per square foot may be paid into the general sidewalk fund to be used within the boundaries of the Old Conway area. The Old Conway Design Review Board will determine if a request for a sidewalk exception is reasonable. This per square foot in-lieu fee shall be reviewed by the City Council at least every 5 years.

- Minor Construction Departmental Approval: Outbuildings 160 square feet or less and exterior renovations / additions that add no more than 75 square feet to an existing structure may be approved by the Director of Planning and Development. These approvals must be reported to the Old Conway Design Review Board at the next regularly scheduled Old Conway Design Review Board Meeting. Sidewalk repair or construction shall not be required when approved departmentally.

Discussion:

Typically sidewalks in the Old Conway area are 4 feet in width. This equates to \$12 per linear foot for an exception as stated above. Cost of construction for a sidewalk for a homeowner is around \$10 per foot.

Sidewalk Information:

Lot frontages and example costs:

60 feet = \$600

80 feet = \$800

100 feet = \$1000

Corner lot with 100 feet x 60 feet = 260 total feet = \$2600

Small additions over 75 square feet in area and outbuildings greater than 160 square feet in area or greater than 30% of the area of the primary structure require construction and/or repair of sidewalks.

New subdivisions platted since 2007 require the construction of sidewalks. These sidewalks are typically built by the builder/developer with the cost passed on to the homebuyer. New homes and additions constructed in older neighborhoods platted prior to 2007 outside of the Old Conway Overlay are not required to construct sidewalks, unless the lots are replatted.

The Robinson Historic District guidelines do not require the construction of sidewalks as part of a Certificate of Appropriateness review.