

Old Conway Design
Overlay District

DESIGN REVIEW BOARD MEETING

**OCTOBER 28, 2010
7:00PM
CITY HALL
1201 OAK STREET**

AGENDA:

Minutes:

June 2010 Minutes

Review:

Togni Outbuilding / Garage

Discussion:

Other items as decided by the Design Review Board

Old Conway Design Review Board June 2010 Minutes

Old Conway Design Review Board

June 2010 Meeting Minutes

City Hall - Downstairs Conference Room, June 24, 2010, 7:00 p.m.

Roll Call

Velton Daves, Chairman - present
Melissa (Headrick) Togni - present
Mary Etta Qualls - absent
David Carolina - present
Betty Pickett - present
Barbara Stroope, Secretary - present
Rod Miller - present
George Covington, Sr. - present
Sandra Mabry - absent

Finding of a Quorum

7 board members were present

May 2009 Minutes

No changes needed.

- Motion to accept by George Covington
- Second by Betty Pickett

Approved unanimously

New Business

Central Baptist College Parking Lot

Terry Kimbrow and Joanne Nabholz spoke on behalf of Central Baptist College.

CBE currently has more cars than parking spaces available. In the past, students parked on the streets, but eventually there were concerns about fire codes. CBC created a temporary gravel parking lot on campus to alleviate concerns about on-street parking. The permanent being presented tonight will replace the temporary lot.

The new lot will be screened from neighbors. A board member expressed concern about drainage. The Planning Department and the city engineer will work with CBC to ensure that drainage will be sufficient.

Carl Perry's lot abuts CBC's property and the new parking lot. Mr. Perry was present at the review. He would prefer the lot to be screened, but he said a privacy fence would be sufficient. He also

asked about the alley. Mr. Kimbrow stated the alley will remain open. Mr. Perry also expressed concerns about drainage from the parking lot onto his property. The board decided to add a condition that the drainage plan be reviewed by a third party.

Mr. Kimbrow reviewed CBC's 10 year master plan with the board. The plan would accommodate 1,500 students though only a small portion would live on campus.

Recommendations

1. Parking location shall be generally as shown on the submitted site plan.
2. Parking lot shall be constructed generally as shown on the submitted site plan.
3. Plans shall reflect the preservation of existing trees and best tree preservation practices shall be used during construction.
4. Third party engineer review is required concerning drainage of the new parking area.
5. South parking lot area shall be screened with an opaque 6 foot privacy fence.

- Motion to accept with addition of conditions 4 and 5: Betty Pickett
- Second by Rod Miller

Approved unanimously

Discussion of Sidewalk Ordinance

Overall, board is still happy with the sidewalk provisions.

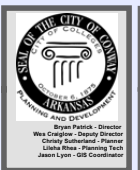
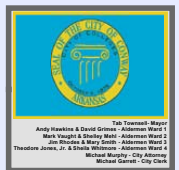
The board thinks that the city should review the in-lieu fee every 2 or 3 years rather than every 5 years since prices for materials change frequently and sometimes drastically. Bryan will ask the council to review every 2 or 3 years for economic reasons.

CITY OF CONWAY

MICHAEL TOGNI
OLD CONWAY DESIGN REVIEW DISTRICT



DESCRIPTION
MICHAEL TOGNI:
LOTS: 20, 21, 22 HARKRIDER ADDN
411 OLIVER STREET
OLD CONWAY DESIGN REVIEW DISTRICT



CONWAY PLANNING COMMISSION
Sandy Mabry - Chair
Kent Mathis - Vice-Chair

— INTERSTATE	— LOT LINE	Residential	Industrial
— MAJOR ARTERIAL	— STREAMS	R-1	MF-1
— MINOR ARTERIAL	— LAKES & PONDS	R-2A	MF-2
— COLLECTOR	— CITY LIMITS	R-2	MF-3
— RESIDENTIAL		HR	RMH
— PRIVATE ROAD		SR	
— INTERSTATE RAMP		Commercial	Office
— RAILROADS		C-1	O-1
		C-2	O-2
		C-3	O-3
		C-4	Special
			SP
			S-1
			A-1
			PUD



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CONTACT INFORMATION
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Area Map

Old Conway Design Overlay Review

Togni Outbuilding/Garage Review - 411 Oliver St

APPLICANT'S NAME(S)

Tony and Melissa Togni

PRESENT ZONING

R-2A

ABUTTING ZONING

R-2A

LOCATION

411 Oliver Street

STRUCTURES ON THE PROPERTY

Single Family residence and two outbuildings

PROPOSED CONSTRUCTION

An approximately 979 square foot outbuilding / garage

NOTIFICATION REQUIREMENTS

In compliance

COMMENTS

General Description of Proposed Project:

The applicant is proposing to demolish an existing garage that has structural problems and replace it with a new 979 square foot two car garage with parking and storage areas.

Surrounding Area and Structures:

The area surrounding 411 Oliver has a large variety of home styles. Surrounding homes vary from minimal traditional, vernacular, craftsman, to ranch style residences.

SITE

Lot Dimensions: The lot has 125 feet of street frontage along Oliver Street and 240 feet of lot depth with an additional 6000 s.f. of deeded area in the northwest corner.

Lot Area: .82 acres total

Setbacks: The proposed structures should respect the predominant setbacks of the area homes, especially the front setback. The proposed outbuilding's front setback is the same as the existing garage's location. This is appropriate.

Spacing: Established spacing distance pattern in the neighborhood between homes. The spacing of the proposed outbuilding is acceptable.

Lot Coverage: The Old Conway Design Overlay District allows 60% impermeable lot coverage. Lot coverage will not be exceeded with this outbuilding.

Orientation: The direction in which the front of a building faces. The outbuilding will face Oliver Street. This is appropriate.

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Alley: An unbuilt alley bisects the block running north and south at the rear of the property.

Driveway / Parking: Parking is not permitted in the front yards. The outbuilding will utilize the existing driveway and parking area.

Sidewalks: The OCDOD Ordinance requires that sidewalks be constructed or repaired as part of outbuilding construction when an outbuilding's area is greater than 30% of the primary structure's area. A sidewalk exists across the property along Oliver Street.

Fences: A wooden privacy fence runs along the north and south property lines and perpendicular to the side of the home. The applicant is not proposing any new fencing at this time.

Tree preservation: The OCDOD ordinance requires that any significant trees over 8 inches in diameter be preserved. There are two large (~36" diameter) sycamore trees on each side of a sidewalk in the vicinity of the garage, but would appear to be unaffected by new garage construction.

MASSING

Scale: The size of new construction in relation to neighboring sizes and the proportion of structures to the human scale. The proposed outbuilding scale is appropriate.

Height: The average heights of eaves and cornices in a neighborhood. Also, the first floor elevation / height relationship. The residence's tallest gable is 19'-3" in height. The lesser side gable is 16'-7". The overall height of the outbuilding will be approximately 16'-4". This height is acceptable in relation to the home. The existing outbuilding is approximately 14 feet in height.

Width: New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The proposed outbuilding is in keeping with the adjoining home and area structures.

Directional expression: Measurement of the height to width ratio of a structure's elevation. The directional expression of the proposed new outbuilding is acceptable.

Footprint: The area of land covered by a structure should be in relation to the majority of neighboring structures. The footprint of outbuildings is typically limited to 30% of the primary home's area. However, the Old Conway Design Review Board may increase this allowed size on a case by case basis where lot size and other factors would allow a greater area. The home and garage sit on a fairly large lot for the Old Conway area. The footprint of the proposed outbuilding will be approximately 59% of the home's size. With the large size of the lot, the location of the garage (existing and proposed), the proposed garage's footprint is in keeping with the adjoining home and area structures.

Complexity of form: The level of detailing and breaks in wall planes of a structure. The outbuilding is simple in form and should match the adjacent home which is also fairly simple in nature.

Façade, wall area, rhythm: Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. Window and door openings should correspond to the rhythm and proportion on existing structures. Generally doors and windows should be proportioned in a range of 25-40% of the total surface area. The supplied drawings show 2 windows and a door on the south elevation. Since this is an outbuilding a lesser degree of window and door openings is appropriate. The majority of the structure will be located behind a privacy fence, therefore, the number of windows and doors as shown can be seen as appropriate.

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DESIGN ELEMENTS

Style: The residence is an english tudor revival / craftsman bungalow. The style of the outbuilding should complement the adjacent home as it is simple in nature.

Entries, Porches, and Porticos: Porches should be a minimum of 6 feet in depth. Roof lines and steps of the porch assembly should also respect the existing structure and neighborhood. Not applicable.

Awnings: Not applicable.

Lighting: Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. Proposed light fixtures as shown would match the appropriate style and would appear to be properly shrouded.

MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks: – Eaves, brackets, dentils, cornices, molding, columns, trim, etc. Proposed outbuilding siding is a cement material board such as Hardiboard. The residence has open rafter tails although they are obscured by gutters. Open rafter tails might be appropriate for the outbuilding and would add to the traditional design of the outbuilding.

Roof: The roof is proposed to be an asphalt shingle to match the adjacent home's roof. This is appropriate.

Decks: Not applicable.

Skylights: Not applicable.

Mechanical screening: HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. Gas and electric meters should be located at the side or rear facade. Not applicable.

Shutters: According to submitted plans, no shutters will be used.

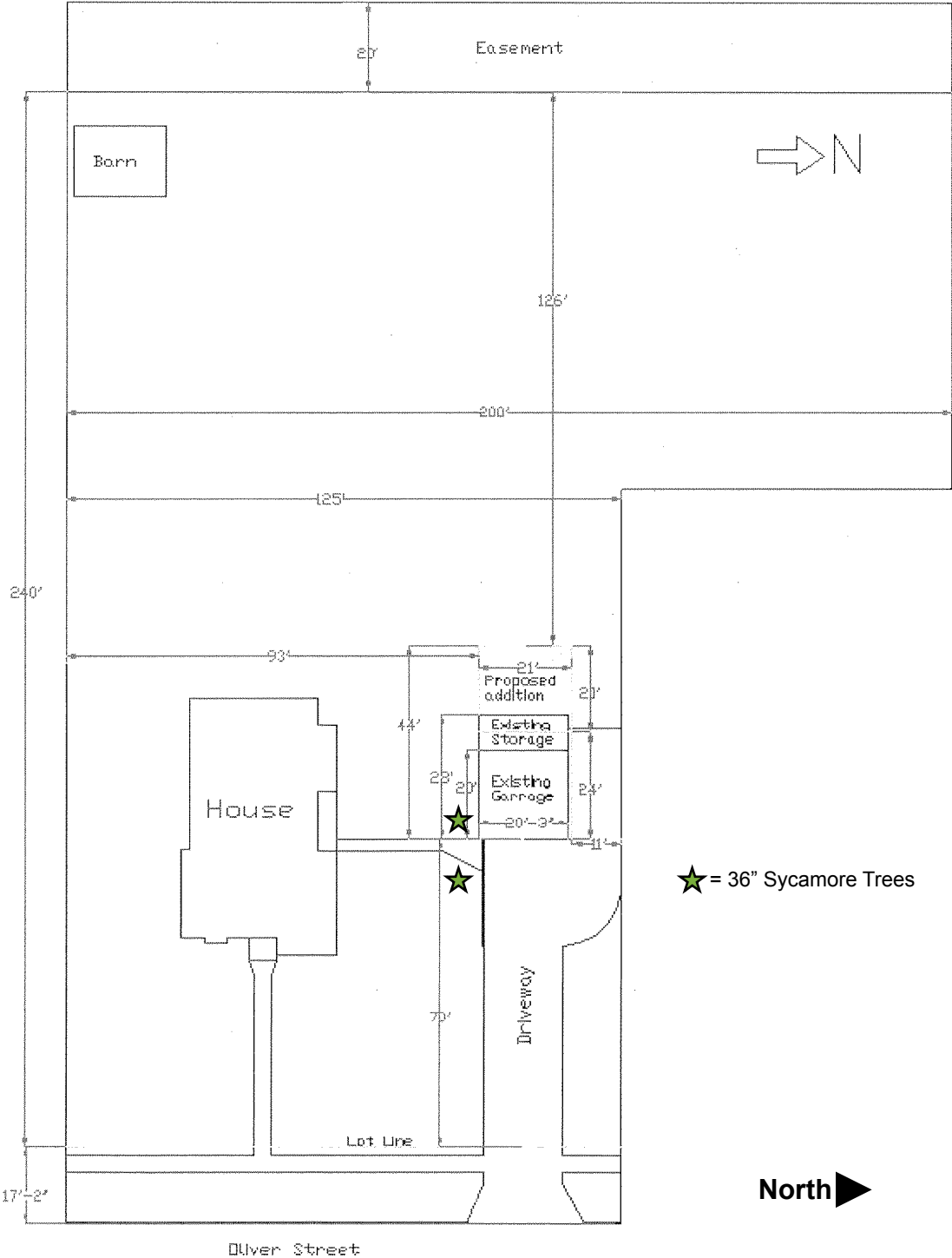
RECOMMENDATIONS:

1. Garage/Outbuilding shall be generally constructed as submitted.
2. The front setback of the garage shall line be generally the same as the exiting garage front setback.
3. Efforts shall be made to preserve all significant trees within the affected construction area.
4. Door, window trim, and detailing shall be in a craftsman style.
5. Open rafter tails shall be utilized.
6. Fiber cement siding such as hardiboard is encouraged.
7. Roof shall be asphalt composition.

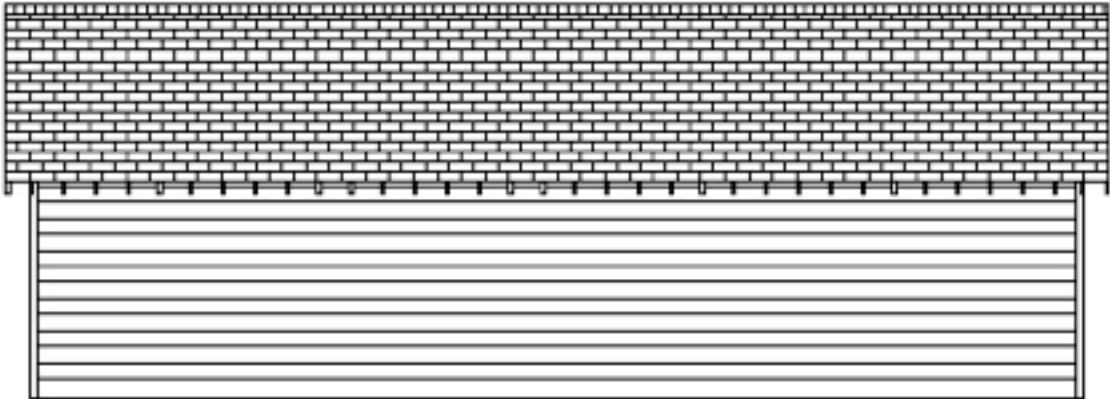
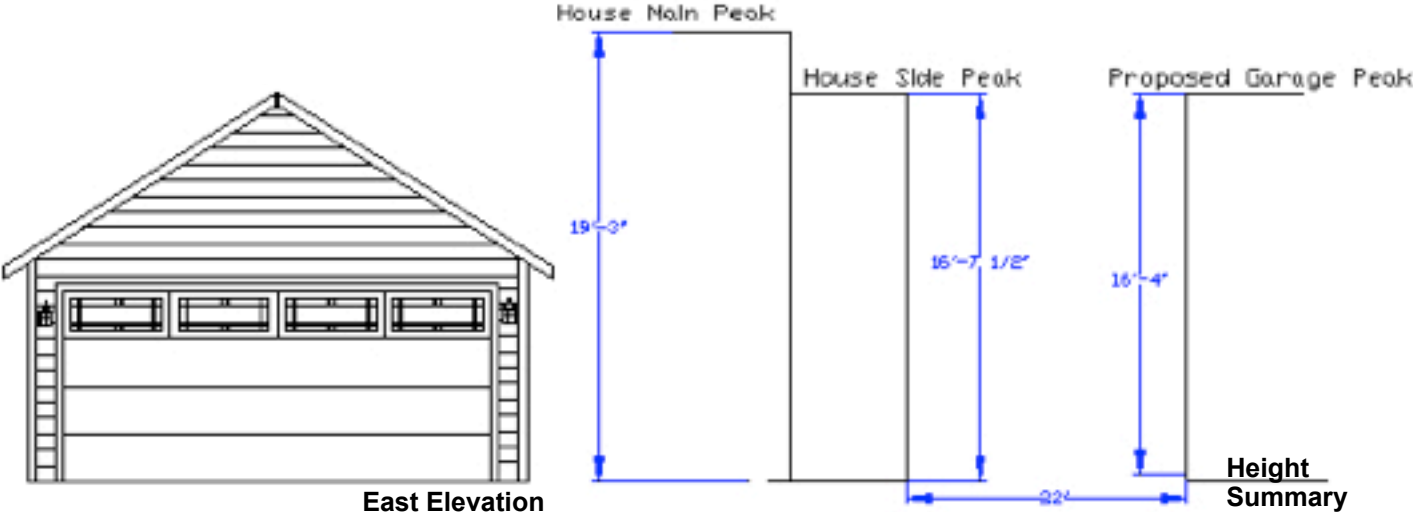
ENCLOSURES

Map, submitted site plan, and elevations.

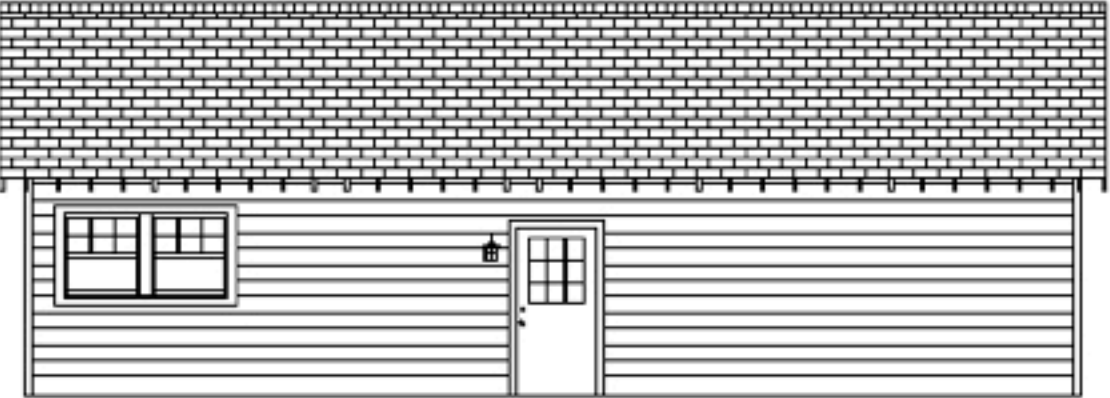
Old Conway Design Overlay Review



Old Conway Design Overlay Review



North Elevation



South Elevation

Old Conway Design Overlay Review

