

Old Conway Design
Overlay District

DESIGN REVIEW BOARD MEETING

**JULY 23, 2009
7:00PM
CITY HALL
1201 OAK STREET**

AGENDA:

Minutes:

February 2009
March 2009
June 2009

Review:

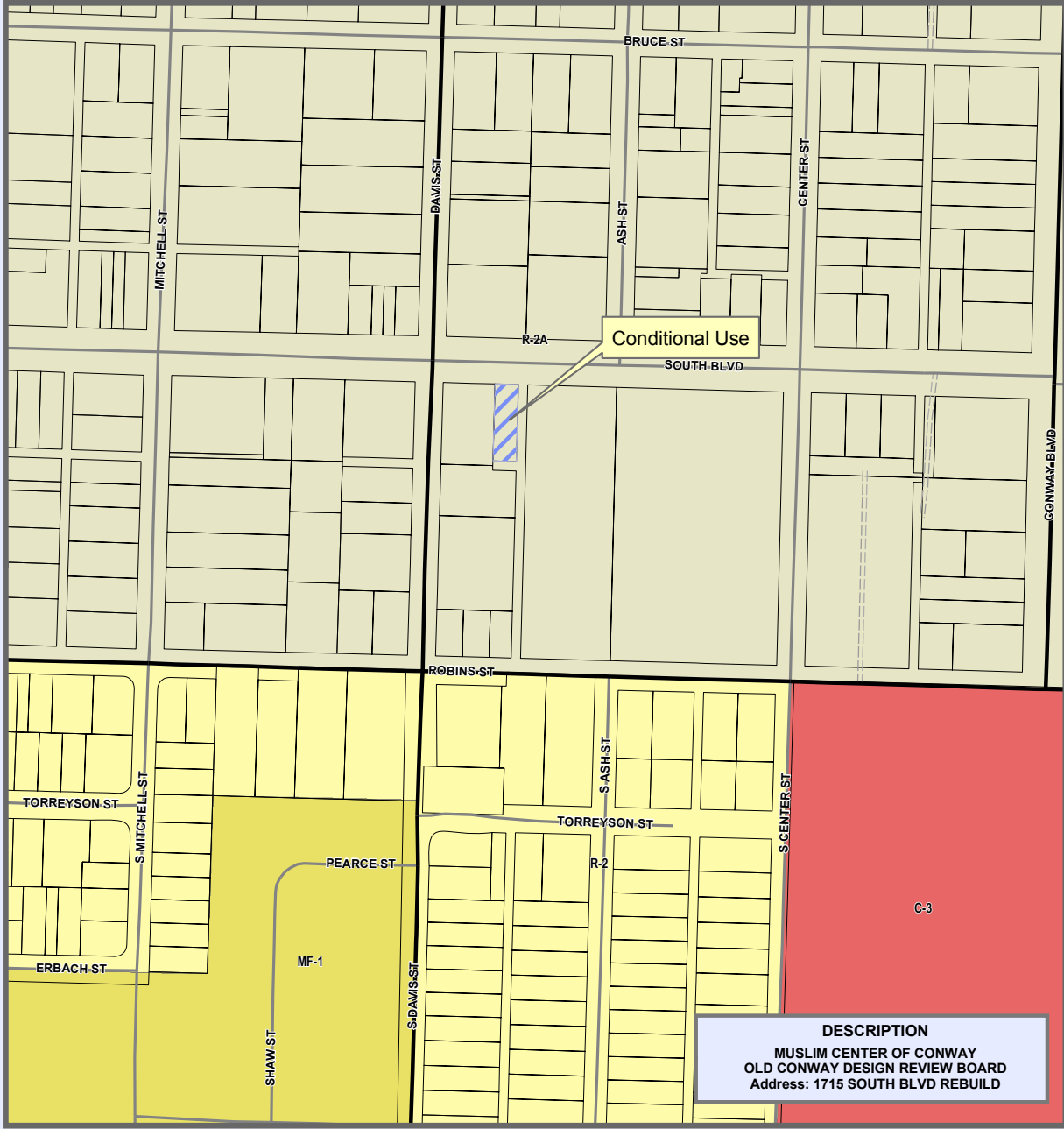
Islamic Student Center
1715 South Boulevard

Discussion:

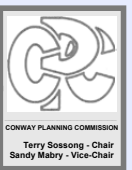
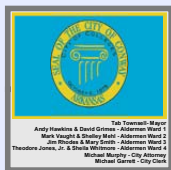
Other items as decided by the Design Review Board

CITY OF CONWAY

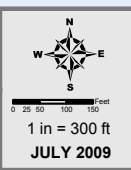
MUSLIM CENTER OF CONWAY OCDR



DESCRIPTION
MUSLIM CENTER OF CONWAY
OLD CONWAY DESIGN REVIEW BOARD
Address: 1715 SOUTH BLVD REBUILD



INTERSTATE	LOT LINE	Residential	Industrial
MAJOR ARTERIAL	STREAMS	R-1	MF-1
MINOR ARTERIAL	LAKES & PONDS	R-2A	MF-2
COLLECTOR	CITY LIMITS	R-2	MF-3
RESIDENTIAL		HR	RMH
PRIVATE ROAD		SR	
INTERSTATE RAMP		Commercial	Office
RAILROADS		C-1	O-1
		C-2	O-2
		C-3	O-3
		C-4	
		Special	S-1
			A-1
			PUD



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CONTACT INFORMATION
 LANDMARK GIS WEBSITE:
 gis.cityofconway.org (UNDER DEVELOPMENT)
 E-MAIL: Jason.Lyon@CityOfConway.org

Area Map

Old Conway Design Overlay Review

Muslim Student Center Review

APPLICANT'S NAME(S)

North American Islamic Trust

PRESENT ZONING

R-2A

ABUTTING ZONING

R-2A

LOCATION

The property is located at 1715 South Boulevard

STRUCTURES ON THE PROPERTY

Single-story islamic student center and residence

PROPOSED CONSTRUCTION

1533 square foot worship center and 545 square foot outbuilding residence

NOTIFICATION REQUIREMENTS

In compliance

COMMENTS

General Description of Proposed Project and Surrounding Area

The applicant is proposing to construct a small worship center and duplex cottage for staff members. A religious use conditional use permit was granted for the property in December, 1998. By definition, a religious use allows a parsonage, convent or monastery, so the small duplex outbuilding would be allowed with the current conditional use permit.

Compatibility of Proposed Construction with Existing Neighborhood and Structures:

There is a mixed set of structures in the area. North, across South Boulevard is a 1960s era "A" frame church, now used as the Faulkner County Day School. To the west, is a small home that looks to have been a wood frame craftsman cottage. Red brick veneer, porches, and additional windows have been added. To the east, is Sallie Cone Elementary School.

S I T E

Lot Dimensions: The lot has 50 feet of street frontage along South Boulevard and is 165 feet deep

Lot Area: .19 acres

Setbacks: The proposed structures should respect the predominant setbacks of the area structures, especially the front setback. The existing home is approximately 44 feet from the curb. The submitted drawings show a proposed front setback of 65 feet from the curb. South Boulevard has a very large 100 foot right of way as the road was platted with the vision of a grand boulevard that was never realized. Therefore, the average area setback is approximately 100 feet based on the western home's 90 foot setback and Sallie Cone Elementary's 110 foot setback. A deep

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setback from 85 to 115 feet would be prescribed by the Old Conway Overlay Ordinance, however the proposed 65 foot setback may be more appropriate based on the existing structure's location. The primary structure has a 6 foot side setback on the west and 15 feet on the east. The outbuilding has 10 foot side setbacks and a 25 foot rear setback. This rear and all side setbacks are appropriate.

Spacing: Established spacing distance pattern in the neighborhood between homes. The spacing of the proposed worship center and outbuilding are acceptable.

Lot Coverage: The Old Conway Design Overlay District allows 60% impermeable lot coverage. Lot coverage as proposed is approximately 50%. With a slight reduction in driveway width, the appropriate percentage can be met.

Orientation: The direction in which the front of a building faces. The entrance to the worship building will face the east towards the school. A gabled elevation is presented to South Boulevard. As the primary facade, this elevation might need a bit more detailing.

Alley: There is an unbuilt alley adjacent to this property on the east between the residence and school. Without an actual survey, it is difficult to evaluate exactly where the alley lies. Mature trees appear to be just east of the right of way. There is a possibility that the alley could be used as access to this property without harming the trees.

Driveway / Parking: Parking is not permitted in front yards. No front yard parking is proposed.

Sidewalks: The OCDOD Ordinance requires that sidewalks be constructed or repaired as part of new construction. There is a four foot sidewalk along South Boulevard on the property to the west. It lies 4 feet from the back of the curb. This sidewalk should be continued across the proposed site to the edge of the school property.

Fences: There is a seven foot wooden privacy fence on the adjacent school property. In the rear yard, along both sides of the site there are four foot chain link fences that are in a state of disrepair. These fences should be removed. If the applicant would like to fence the property, an appropriate wooden privacy fence should be constructed.

Tree preservation: The OCDOD ordinance requires that any significant trees over 8 inches in diameter be preserved. There are quite a few mature trees along the property lines of the site. It would appear that construction will not effect these trees. There is a large pecan tree in the center of the rear yard that would likely need to be removed in order to construct the rear cottage and parking area. A large stump in the front yard should be removed.

M A S S I N G

Scale: The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The scale of the proposed development is appropriate.

Height: The average heights of eaves and cornices in a neighborhood. Also, the first floor elevation / height relationship. The overall height of the structures are appropriate. The ceiling heights are shown as 9 feet tall. The first floor elevation should be at least 2-3 blocks (18-24

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inches) above grade.

Width: New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The proposed structures are in keeping with area structures.

Directional expression: Measurement of the height to width ration of a structure's elevation. The directional expression of the proposed new structures are acceptable.

Footprint: The area of land covered by a structure should be in relation to the majority of neighboring structures. The footprint of the structures are in keeping with area structures.

Complexity of form: The level of detailing and breaks in wall planes of a structure. The structures are simple in form and should compliment area structures.

Facade, wall area, rhythm: Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. Window and door openings should correspond to the rhythm and proportion on existing structures. Generally doors and windows should be proportioned in a range of 25-40% of the total surface area. The primary structures front, rear, and west elevations show windows and doors that meet the 25% proportion. The east elevation does not meet the 25% minimum requirement. However, a bathroom and kitchen with cabinets and stove make additional windows difficult. The rear cottage does not show any windows on the east, west, or south elevations. As studio efficiency apartments, windows could limit furniture placement, however one additional window could be placed on the east and west elevations and a small window could be placed above the sink in the kitchen areas.

DESIGN ELEMENTS

Style: The proposed style is minimal in nature. There appears to be sufficient detailing and trim to compliment area structures.

Entries, Porches, and Porticos: Porches should be a minimum of 6 feet in depth. Roof lines and steps of the porch assembly should also respect the existing structure and neighborhood. The proposed porches can be seen as porticos at the entries offering shelter from the elements as the doors are opened. As porticos, these would not need to conform to the 6 foot depth requirement.

Doors and windows: The style and proportion of the windows and doors as shown are appropriate. As stated above, additional windows in blank facades should be considered.

Awnings: Not applicable.

Lighting: Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No light fixtures are shown on the supplied drawings.

MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks: – Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The proposed primary structure has brick veneer. It is unclear as to the proposed siding on the rear cottage. Brick should be required for the cottage. The proposed

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structures are minimal in detailing but do have a degree of traditional trim work. The columns on the rear cottage and rear portico of the primary structure are too spindly. They appear to be 4 inches square. These columns should be trimmed to be at least 6 inches square. The proposed detailing is appropriate. If the South Boulevard facade is seen as too blank, a braced roof structure could be required to add more facade detail. A sketch is enclosed.

Roof: The proposed roof is to be an asphalt architectural shingle. This is appropriate.

Decks: No decks are proposed.

Skylights: Not applicable.

Mechanical screening: HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. Gas and electric meters should be located at the side or rear facade. The existing location of electric service is at the west rear side of the home. A similar location should be maintained for the new structures.

Shutters: According to submitted plans, no shutters will be used.

Building Code Information: This project includes an area of public assembly and/or institutional facility, therefore it is subject to a higher level of building code scrutiny than a typical residential structure. Mr. Lynn Hicks, City Building Official, has written a memo outlining issues that will need to be resolved before a building permit may be issued. Many of these issues are internal building structure issues, however a few may cause concerns for exterior appearance. These issues include:

- Two remote exit doors are required from the assembly space.
- Required egress and exit doors are required to swing in direction of exit travel.
- Landings at exterior of the required exit doors are required at same elevation as the finished floor elevation
- Handicap parking and accessibility into the building is required.
- Handicap accessible toilet rooms for men and women are required.
- Emergency egress windows from the bedrooms.

The most outstanding issues that could effect the exterior design of the primary structure are the requirements for two exit doors from the assembly space and handicap toilets. The two exit doors would need to comply with Old Conway Design standards. The handicap toilet facilities would require the overall dimensions of the building to expand so that adequate space is created in the toilets.

RECOMMENDATIONS:

1. Structures should be constructed as shown on submitted drawings with below revisions as required by the Old Conway Design Review Board.
2. Front setback shall be 65± feet from the curb. All other setbacks shall be as shown. Setback adjustments may be approved by the Director of Planning as needed due to building code requirement compliance.
3. The alley right of way may be utilized as a driveway entrance if possible. Tree preservation shall take precedence.

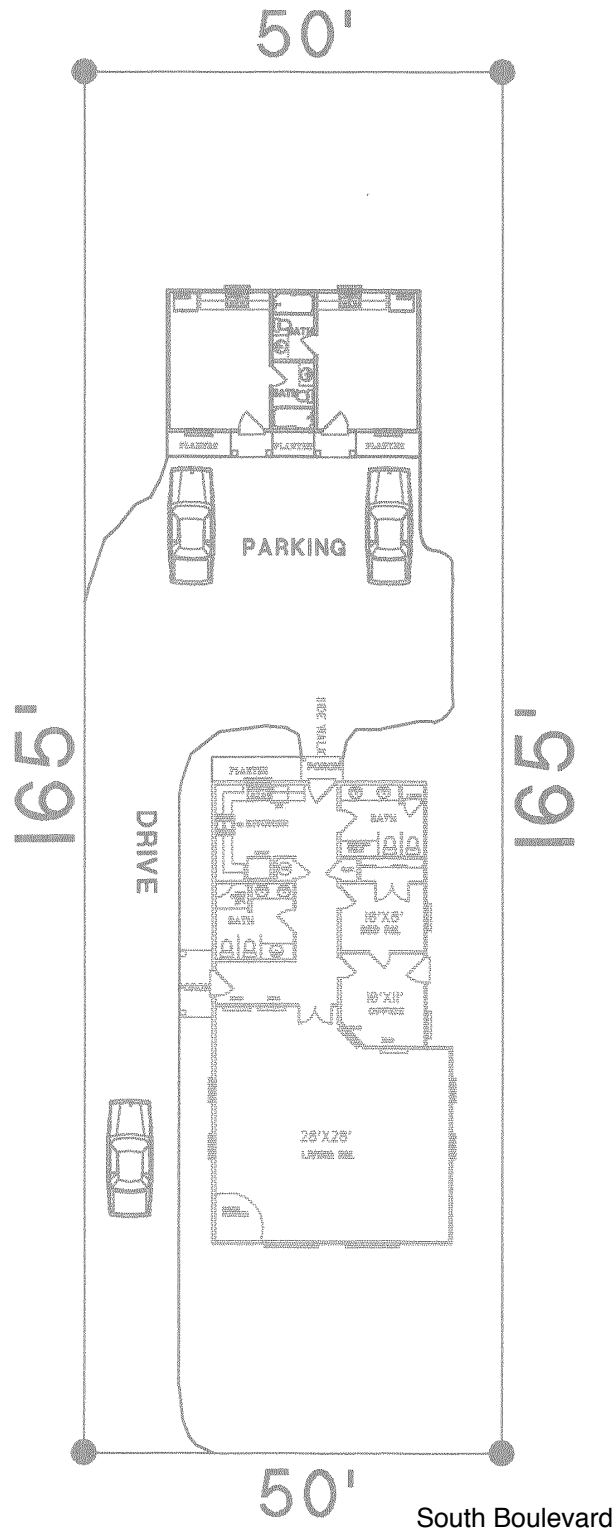
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4. Driveway shall be 10 feet wide and be placed along the east property line or within alley right of way if possible. No other paving in front yard shall be allowed.
5. A four foot wide concrete sidewalk shall be constructed across the South Boulevard frontage. This sidewalk shall be four feet from the back of curb and will continue the existing sidewalk from the west.
6. The existing chain link fences shall be removed.
7. Existing significant trees (8+ inches in diameter) shall be preserved along property lines. The existing large pecan in the center of the rear lot area may be removed to allow parking and the duplex structure. The large stump in the front yard shall be removed.
8. Finished first floor elevation shall be a minimum of 18 inches above grade. Floor to ceiling height shall be 9 feet.
9. Additional windows and doors shall be required as shown on enclosed floor plan.
10. Columns on the rear of the primary structure and the front of the duplex shall be a minimum trimmed dimension of 6 inches.
11. Additional braced roof structures as sketched shall be added to South Boulevard facade.
12. Four inch brick veneer cladding shall be used on the primary and duplex structure.
13. Roofing shall be asphalt composition shingles.
14. HVAC units shall be visually located away from streets and/or screened by landscaping. Gas and electric meters shall be located at the side or rear facade.
15. Planning Director may make minor adjustments as required to meet building/fire code regulations.

ENCLOSURES

Map, site plan, elevations, building code memo, and photos

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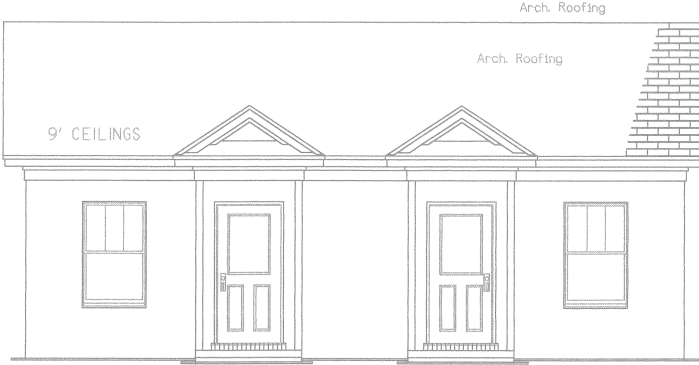
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North Elevation

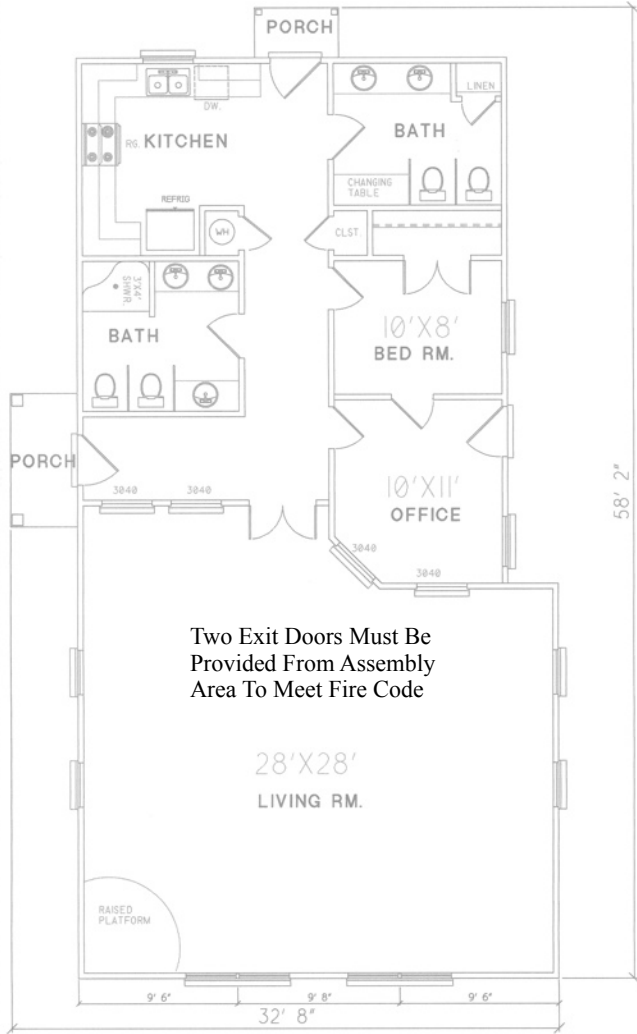


East Elevation

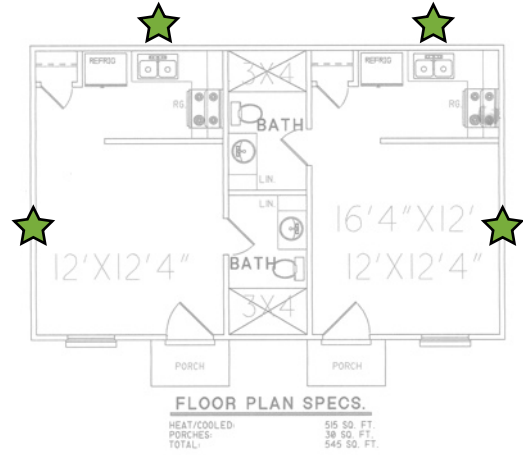


Cottage Elevation

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Worship Center Floor Plan



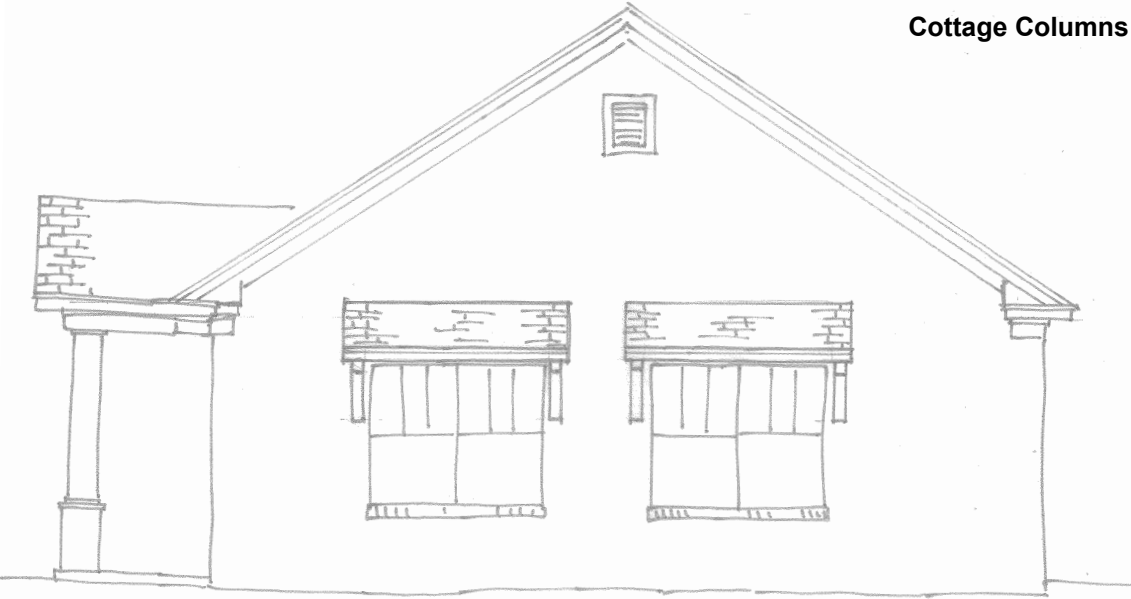
★ = Additional Window Location

Cottage Floor Plan

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Cottage Columns



Braced Roof Structure

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Existing Islamic Center

MEMO

TO: Bryan Patrick
FROM: Lynn Hicks
DATE: 7-16-09
SUBJECT: Preliminary Building Code Concerns on Two Buildings to be uses as the Islamic Student Center

The following building code concerns were recognized based upon Preliminary Plans drawn by Quality Design Inc. for the above referenced project:

Assembly Building

1. Assembly spaces require design by a licensed architect.
2. Exit signs required over the required exit doors.
3. Emergency lighting is required interior and exterior.
4. Two remote exit doors are required from the assembly space.
5. Required egress and exit doors are required to swing in direction of exit travel.
6. Doorway width for egress and accessibility are required at 32" minimum.
7. Landings at exterior of the required exit doors are required at same elevation as the finished floor elevation.
8. The Bedroom and the area outside the Bedroom require smoke detector/alarms.
9. Emergency egress window with proper opening size is required from bedroom.
10. Hood and duct with fire suppression system is required over the cooking equipment.
11. A 1-hour fire rated exit access corridor is required unless the building is sprinklered.
12. Handicap parking and accessibility into the building is required.
13. Handicap accessible toilet rooms for men and women are required.
14. Handicap bathroom fixtures, door handles, switches and controls are required.

Duplex Building

1. 1-hour fire rated tenant separation between units extending into the attic to the roof deck or terminating at the bottom of a 1-hour fire rated roof/ceiling assembly.
2. Emergency egress windows from the bedrooms.

This list is not to be construed as all inclusive, but is an attempt to point out and address code issues as early in the project as possible.

Building Code Issues